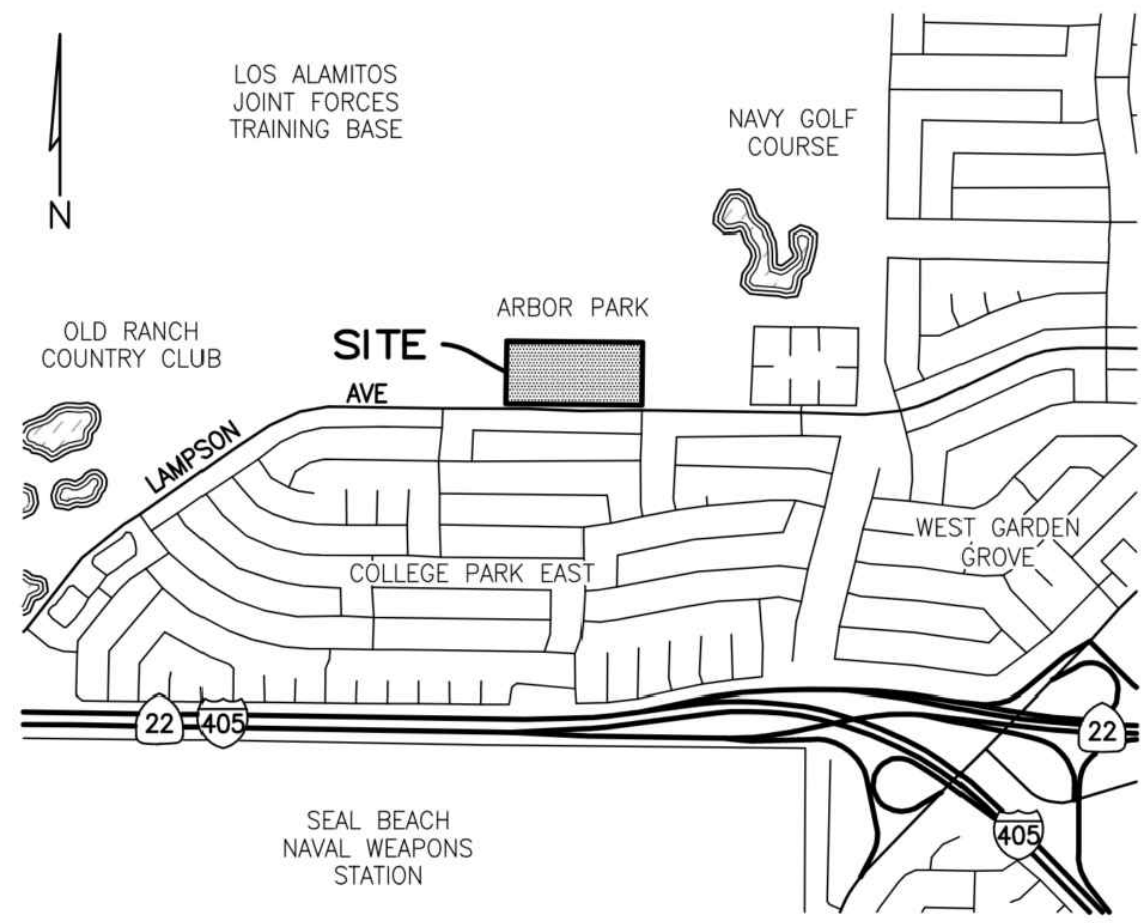


# ORANGE COUNTY FIRE AUTHORITY



## FIRE MASTER PLAN



NOT TO SCALE

### VICINITY MAP

#### PROJECT INFORMATION REQUIREMENTS

PROJECT LOCATION: 4665 LAMPSON AVE., LOS ALAMITOS, CA 90720  
PARCEL MAP NUMBER: 2022-133 PARCELS 1 & 2  
TRACT NUMBER: VESTING TENTATIVE TRACT MAP NO. 19263  
LOT NUMBER: 1

#### EMERGENCY ACCESS EASEMENTS

#### DETAILED SCOPE OF WORK

THIS PRELIMINARY FIRE MASTER PLAN HAS BEEN PREPARED FOR THE LAMPSON PARK PLACE PROJECT IN THE CITY OF LOS ALAMITOS AS PART OF THE ENTITLEMENT REVIEW AND APPROVAL BY THE CITY. THIS PROJECT CONSISTS OF SINGLE FAMILY DETACHED UNITS, TOWN HOME WALK-UP UNITS, AND MULTI-FAMILY APARTMENT BUILDINGS. THE CONDOMINIUM SINGLE FAMILY DETACHED AND TOWN HOME WALK-UP BUILDINGS WILL BE A SEPARATE DEVELOPMENT THAN THE MULTI-FAMILY APARTMENT BUILDINGS AFTER ENTITLEMENT, AT WHICH TIME, A PRECISE FIRE MASTER PLAN FOR EACH DEVELOPMENT SITE SHALL BE SUBMITTED AND APPROVED BY OCFA AND SHALL INCLUDE RECIPROCAL EMERGENCY ACCESS EASEMENTS FOR EACH OF THE DEVELOPMENT SITES AS INDICATED ON THE VESTING TENTATIVE TRACT MAP PROVIDED AS REFERENCE ONLY WITH THIS PRELIMINARY FIRE MASTER PLAN SUBMITTAL.

#### NUMBER OF UNITS OR HOMES IN DEVELOPMENT

169 SINGLE FAMILY DETACHED AND MULTI-PLEX WALK-UP TOWN HOME UNITS (R-3 OCCUPANCY)  
77 UNITS WITHIN 3 MULTIFAMILY ATTACHED APARTMENT BUILDINGS (R-2 OCCUPANCY)

#### SPECIAL CONDITIONS

- FIRE HAZARD SEVERITY ZONE  STATE RESPONSE AREA  LOCAL RESPONSE AREA
- STATE LICENSED FACILITY
- AM&M  PENDING  COMPLETE SR.
- METHANE MITIGATION

#### NUMBER OF STORIES

2 & 3 LEVELS

#### BUILDING HEIGHT

MAXIMUM 29'-11" HIGH TO LOWEST EAVE (37'-6" TO HIGHEST POINT OF THE ROOF)

#### OCCUPANCY TYPE (CHECK ALL THAT APPLY)

- INDICATES SFM REGULATED OCCUPANCY. OCFA PLAN SUBMITTAL REQUIRED
- GROUP S MOTOR VEHICLE REPAIR AND AIRCRAFT REPAIR REQUIRE OCFA PLAN SUBMITTAL
- GROUP A1\*  GROUP A2\*  GROUP A3\*  GROUP A4\*  GROUP A5\*
- GROUP B  GROUP F1  GROUP F2  GROUP H1\*
- GROUP H2\*  GROUP H3\*  GROUP H4\*  GROUP H5\*  GROUP H1\*
- GROUP I2\*  GROUP I3\*  GROUP I4\*  GROUP M  GROUP R1\*
- GROUP R2\*  GROUP R2.1  GROUP R2.2  GROUP R3  GROUP R3.1
- GROUP R4\*  GROUP S1#  GROUP S2#  GROUP U

#### TYPE OF CONSTRUCTION

- TYPE IA  TYPE IB
- TYPE IIA  TYPE IIB
- TYPE IIIA  TYPE IIIB
- TYPE IV-A  TYPE IV-B  TYPE IV-C
- TYPE VA  TYPE VB

#### MIXED USE AND OCCUPANCY (PER CBC 508 & 509)

- ACCESSORY OCCUPANCIES (CBC 508.2)  
(ACCESSORY OCCUPANCY < 10% OF STORY)
- INCIDENTAL USES (CBC 509)
- NONSEPARATED OCCUPANCIES (CBC 508.3)
- SEPARATED OCCUPANCIES (CBC 508.4)

#### SPECIAL DETAILED REQUIREMENTS

- HIGH RISE (CBC 403)
- ATRIUM (CBC 404)
- OPEN PARKING GARAGE (CBC 406.5)
- GROUP I2 (CBC 407) SMOKE COMPARTMENTS REFUGE AREAS
- HAZARDOUS MATERIALS (CBC 414, CFC CHAPTER 50)

#### SPRINKLERS

- NEW  MANDATORY  VOLUNTARY
- TENANT IMPROVEMENT

#### TYPE

- NFPA 13
- NFPA 13D
- NFPA 13R
- FIRE PUMP
- STANDPIPES

#### FIRE ALARM

- NEW  MANDATORY  VOLUNTARY
- TENANT IMPROVEMENT
- VOICE EVACUATION

FIRE FLOW REQUIREMENT PER OCFA GUIDELINE B-01 ATTACHMENT 4  
FLOW (IN GPM @ 20 PSI): 1,750 GPM @ 20PSI DURATION: 3 HOURS

#### WATER AVAILABILITY

\*PROVIDE COPY OF OCFA WATER AVAILABILITY FORM  
COMPLETED BY WATER DISTRICT ON FIRE MASTER PLAN\*  
FLOW: 1,937 GPM  
PRESSURE: CALC'D AT 20PSI BY GOLDEN STATE WATER COMPANY

- ON SITE FIRE HYDRANTS  
TOTAL NUMBER: EIGHT (8)

#### EMERGENCY RESPONDER RADIO COVERAGR (BDA)

THIS BUILDING SHALL BE EQUIPPED WITH AN EMERGENCY RESPONDER DIGITAL RADIO SYSTEM PER THE REQUIREMENTS OF THE ORANGE COUNTY SHERIFF'S DEPARTMENT-COMMUNICATIONS & TECHNOLOGY DIVISION. FOR THE INITIAL SUBMITTAL, OCSD/COMM REQUIRES THE ERRCS/SDA/ADAS SYSTEM DESIGNER TO PROVIDE THE FOLLOWING FOR PRE-EVALUATION: A. PROJECT NAME, B. SITE ADDRESS, C. PROJECT DESCRIPTION, D. CONTRACTOR CONTACT INFORMATION, E. BDA MODEL (S/N IF AVAILABLE), F. PROPOSED MODE OF OPERATION (CLASS A/B), G. PROPOSED PROJECT TIMELINE. THIS INFORMATION IS TO BE SUBMITTED BY THE DESIGNER VIA EMAIL TO ERRCS@OCSD.ORG AND DBACERT@OCFA.ORG. CFC 510

### OCFA STANDARD FIRE MASTER PLAN NOTES

#### INSPECTION REQUIREMENTS

- OCFA SITE INSPECTIONS ARE REQUIRED FOR THIS PROJECT. PLEASE SCHEDULE ALL FIELD INSPECTIONS AT LEAST 48 HOURS IN ADVANCE. INSPECTIONS CANCELED AFTER 1 P.M. ON THE DAY BEFORE THE SCHEDULED DATE WILL BE SUBJECT TO A RE-INSPECTION FEE. CALL OCFA INSPECTION SCHEDULING AT (714) 573-6150.
- A LUMBER DROP INSPECTION SHALL BE PERFORMED PRIOR TO BRINGING COMBUSTIBLE MATERIALS (OR COMBUSTIBLE FIXTURES AND FINISHES FOR STRUCTURES OF NON-COMBUSTIBLE CONSTRUCTION), ALL-WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 94,000 LBS., TOPPED WITH ASPHALT, CONCRETE, OR EQUIVALENT SHALL BE IN PLACE AND HYDRANTS OPERATIONAL AT TIME OF LUMBER DROP INSPECTION.
- FOR PROJECTS WITH FUEL MODIFICATION, A VEGETATION CLEARANCE INSPECTION IS REQUIRED PRIOR TO A LUMBER DROP INSPECTION. USE THE FUEL MODIFICATION PLAN SERVICE REQUEST NUMBER TO SCHEDULE THE VEGETATION CLEARANCE INSPECTION.
- PHASED INSTALLATION OF FIRE ACCESS ROADS REQUIRES ADDITIONAL INSPECTIONS NOT COVERED BY THE FEES PAID AT PLAN SUBMITTAL. CONTACT INSPECTION SCHEDULING TO ARRANGE FOR ADDITIONAL INSPECTIONS THAT MAY BE NEEDED AND ANY FEES THAT MAY BE DUE.
- AN ORIGINAL APPROVED, SIGNED, WET-STAMPED OCFA FIRE MASTER PLAN SHALL BE AVAILABLE ON-SITE AT TIME OF INSPECTION.
- ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED AND REMAIN CLEAR OF OBSTRUCTIONS AT ALL TIMES DURING AND AFTER CONSTRUCTION. AREAS WHERE PARKING IS NOT PERMITTED SHALL BE CLEARLY IDENTIFIED AT ALL TIMES. OBSTRUCTION OF FIRE LANES AND HYDRANTS MAY RESULT IN CANCELLATION OR SUSPENSION OF INSPECTIONS.
- TEMPORARY FUEL TANKS OF 60 OR MORE GALLONS SHALL BE REVIEWED, INSPECTED, AND PERMITTED BY THE OCFA PRIOR TO USE.
- THE PROJECT ADDRESS SHALL BE CLEARLY POSTED AND VISIBLE FROM THE PUBLIC ROAD DURING CONSTRUCTION.
- ALL GATES IN CONSTRUCTION FENCING SHALL BE EQUIPPED WITH EITHER A KNOX OR BREAKAWAY PADLOCK.
- BUILDINGS OF FOUR OR MORE STORIES SHALL BE PROVIDED WITH STAIRS AND A STANDPIPE BEFORE REACHING 40 FEET IN HEIGHT.

#### GENERAL REQUIREMENTS

- FIRE LANE WIDTHS SHALL BE MEASURED FROM TOP FACE OF THE CURB TO TOP FACE OF THE CURB FOR FIRE LANES WITH STANDARD CURBS AND GUTTERS AND FROM FLOW-LINE TO FLOW-LINE FOR FIRE LANES WITH MODIFIED CURB DESIGNS (E.G., ROLLED, RAMPED, ETC.), THE DEVELOPER IS RESPONSIBLE TO VERIFY THAT ALL APPROVED PUBLIC WORKS OR GRADING DEPARTMENT STREET IMPROVEMENT PLANS OR PRECISE GRADING PLANS CONFORM TO THE MINIMUM STREET WIDTH MEASUREMENTS PER THE APPROVED OCFA FIRE MASTER PLAN AND STANDARDS IDENTIFIED IN OCFA GUIDELINE B-09 FOR ALL PORTIONS OF THE FIRE ACCESS ROADS.
- PERMANENT, TEMPORARY, AND PHASED EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 94,000 LBS. AND SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
- FIRE LANE SIGNS AND RED CURBS SHALL MEET THE SPECIFICATIONS SHOWN IN OCFA GUIDELINE B-09 AND SHALL BE INSTALLED AS DESCRIBED THEREIN. ADDITIONAL FIRE LANE MARKINGS MAY BE REQUIRED AT THE TIME OF INSPECTION DEPENDING ON FIELD CONDITIONS.
- ALL FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING THEIR LOCATION PER THE OCFA STANDARD. ON PRIVATE PROPERTY MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER.
- ADDRESS NUMBERS SHALL BE LOCATED AND BE OF A COLOR AND SIZE SO AS TO BE PLAINLY VISIBLE, AND LEGIBLE FROM THE ROADWAY FROM WHICH THE BUILDING IS ADDRESSED IN ACCORDANCE WITH OCFA GUIDELINE B-09. WAYFINDING SIGNS, WHEN REQUIRED BY THE LOCAL AHJ, SHALL COMPLY WITH THE STANDARDS OF THAT AGENCY. WHEN WAYFINDING SIGNS ARE ALSO REQUIRED BY THE OCFA, THEY MAY BE DESIGNED TO LOCAL AHJ REQUIREMENTS PROVIDED THAT SUCH STANDARDS FACILITATE LOCATION OF STRUCTURES, SUITES, AND DWELLING UNITS BY EMERGENCY PERSONNEL.
- ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH CHAPTER 5 OF THE CFC AND OCFA GUIDELINES.
- APPROVED ACCESS WALKWAYS SHALL BE PROVIDED TO ALL REQUIRED OPENINGS AND ALL RESCUE WINDOWS.
- VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS, OR STROBES.
- DUMPSTERS AND TRASH CONTAINERS LARGER THAN 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM.
- ANY FUTURE MODIFICATION TO THE APPROVED FIRE MASTER PLAN OR APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO ROAD WIDTH, GRADE, SPEED HUMPS, TURNING RADII, GATES OR OTHER OBSTRUCTIONS, SHALL REQUIRE REVIEW, INSPECTION, AND APPROVAL BY THE OCFA.
- APPROVAL OF THIS PLAN SHALL NOT BE CONSTRUED AS APPROVAL OF ANY INFORMATION OR PROJECT CONDITIONS OTHER THAN THOSE ITEMS AND REQUIREMENTS IDENTIFIED IN OCFA GUIDELINE B-09 AND RELATED PORTIONS OF THE 2022 CFC AND CBC. THIS PROJECT MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS NOT STATED HEREIN UPON EXAMINATION OF ACTUAL SITE AND PROJECT CONDITIONS OR DISCLOSURE OF ADDITIONAL INFORMATION.

#### GATES

- MANUAL  ELECTRIC

#### OCFA NOTES FOR ELECTRIC VEHICLE GATES

- A REMOTE OPENING DEVICE IS REQUIRED. THE REMOTE GATE OPENING DEVICE THAT WILL BE INSTALLED IS (CHECK ONE):
  - 3M OPTICOM
  - CLICKCENTER\* (SINGLE-PULSE MODE WITH 1.5 SECOND TRANSMISSION WINDOW)
  - FIRE STROBE ACCESS PRODUCTS, INC.
  - TOMAR
- IN THE EVENT OF LOSS OF NORMAL POWER TO THE GATE OPERATING MECHANISM, IT SHALL BE AUTOMATICALLY TRANSFERRED TO A FAIL-SAFE MODE ALLOWING THE GATE TO BE PUSHED OPEN BY A SINGLE FIREFIGHTER WITHOUT ANY OTHER ACTIONS, KNOWLEDGE, OR MANIPULATION OF THE OPERATING MECHANISM BEING NECESSARY.
  - A) A BATTERY MAY ONLY BE USED IN PLACE OF FAIL-SAFE MANUAL OPERATION WHEN THE GATE OPERATOR HAS A FAIL-OPEN MODE THAT WILL AUTOMATICALLY, IMMEDIATELY, AND COMPLETELY OPEN THE GATE AND KEEP IT OPEN UPON REACHING A LOW POWER THRESHOLD, REGARDLESS OF THE PRESENCE OF NORMAL POWER. SHOULD THE GATE BE TOO LARGE OR HEAVY FOR A SINGLE FIREFIGHTER TO OPEN MANUALLY, A SECONDARY SOURCE OF RELIABLE POWER BY MEANS OF AN EMERGENCY GENERATOR OR A CAPACITOR WITH ENOUGH RESERVE TO AUTOMATICALLY, IMMEDIATELY, AND COMPLETELY OPEN THE GATE UPON LOSS OF PRIMARY POWER SHALL BE PROVIDED FOR FAIL-OPEN OPERATION.
  - IN ADDITION TO THE REMOTE OPERATOR, THE GATE CONTROL SHALL BE OPERABLE BY A KNOX EMERGENCY OVERRIDE KEY SWITCH EQUIPPED WITH A DUST COVER. UPON ACTIVATION OF THE KEY SWITCH, THE GATE SHALL OPEN AND REMAIN OPEN UNTIL RETURNED TO NORMAL OPERATION BY MEANS OF THE KEY SWITCH. WHERE A GATE CONSISTS OF TWO LEAVES, THE KEY SWITCH SHALL OPEN BOTH SIMULTANEOUSLY IF OPERATION OF A SINGLE LEAF ON THE INGRESS SIDE DOES NOT PROVIDE FOR THE WIDTH, TURNING RADII, OR SETBACKS NECESSARY FOR FIRE APPARATUS TO NAVIGATE THE VEHICLE ENTRY POINT.
  - THE KEY SWITCH SHALL BE PLACED BETWEEN 42" AND 48" ABOVE THE ROADWAY SURFACE AT THE RIGHT SIDE OF THE ACCESS GATE WITHIN TWO FEET OF THE EDGE OF THE ROADWAY. IN IRVINE, THE SWITCH SHALL BE ON THE LEFT SIDE IN ACCORDANCE WITH IRVINE'S UNIFORM SECURITY ORDINANCE.
  - THE KEY SWITCH SHALL BE READILY VISIBLE AND UNOBSTRUCTED FROM THE FIRE LANE LEADING TO THE GATE.
  - THE KEY SWITCH SHALL BE LABELED WITH A PERMANENT RED SIGN WITH NOT LESS THAN 1/2" CONTRASTING LETTERS READING "FIRE DEPT" OR WITH A "KNOX" DECAL.

#### STAKEHOLDERS

BUILDING DEPARTMENT: CITY OF LOS ALAMITOS  
PLANNING DEPARTMENT: CITY OF LOS ALAMITOS  
PUBLIC WORKS DEPARTMENT: CITY OF LOS ALAMITOS  
WATER DISTRICT: GOLDEN STATE WATER COMPANY

### OCFA STAMP

#### APPLICABLE CODES

- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
- APPLICABLE NFPA STANDARDS
- LOCALLY ADOPTED ORDINANCES CITY: LOS ALAMITOS
- CONDITIONS OF APPROVAL CITY: LOS ALAMITOS
- OCFA GUIDELINES

#### DEFERRED SUBMITTALS

THIS PROJECT HAS BEEN PERMITTED WITHOUT REVIEW AND/OR APPROVAL OF THE FOLLOWING DEFERRED SUBMITTALS. PLANS APPROVED BY OCFA SHALL BE OBTAINED FOR EACH DEFERRED ITEM LISTED BELOW PRIOR TO COMMENCING ANY WORK WITHIN THE SCOPE OF SUCH DEFERRAL. DEFERRALS MUST BE REVIEWED AND ACCEPTED BY THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO SUBMITTING FOR REVIEW WITH OCFA. PORTIONS OF THE PROJECT THAT ARE DEFERRED SHALL BE SUBJECT TO THE CODES, STANDARDS, AND OTHER APPLICABLE REQUIREMENTS IN FORCE ON THE DATE THAT THE DEFERRED PLAN IS SUBMITTED TO OCFA.

- ARCHITECTURAL PLAN
- HIGH PILED COMBUSTIBLE STORAGE
- CHEMICAL USE AND/OR STORAGE
- FUEL TANK (FOR GENERATOR, IF OVER 60 GALLONS)
- BATTERY/ENERGY STORAGE SYSTEM

- UNDERGROUND SYSTEM SERVING SPRINKLERS, STANDPIPES, AND/OR PRIVATE HYDRANTS

- SPRINKLER SYSTEM
- STANDPIPE SYSTEM

- FIRE PUMP
- HOOD AND DUCT EXTINGUISHING SYSTEM
- ALARM SYSTEM

#### PREREQUISITE PLANS

- PLANNING APPLICATION SR: SR# 300375 (PR105 SITE DEVELOPMENT REVIEW/CUP)

- METHANE MITIGATION SR:

- FUEL MODIFICATION PLAN SR:

#### REVISION

- ORIGINAL PLAN SR:  
COPY OF ORIGINAL APPROVED PLAN REQUIRED TO BE SUBMITTED WITH ALL REVISED PLANS.

#### REVISION SCOPE OF WORK

#### PROJECT DIRECTORY

##### ARCHITECT/ENGINEER

BUSINESS NAME: KTG GROUP, INC  
CONTACT NAME:  
ADDRESS: 17911 VON KARMAN AVENUE, SUITE 200  
CITY: IRVINE STATE: CA ZIP: 92614  
PHONE: (714) 639-9860  
EMAIL:

##### PROPERTY OWNER/HOA

BUSINESS NAME: LAMPSON PARK PLACE, LLC  
CONTACT NAME:  
ADDRESS:  
CITY: STATE: ZIP:  
PHONE: STATE: ZIP:  
EMAIL:

##### TENANT

BUSINESS NAME:  
CONTACT NAME:  
ADDRESS:  
CITY: STATE: ZIP:  
PHONE: STATE: ZIP:  
EMAIL:

DESIGNED BY: DAVID OATIS	7	NO.
DRAWN: FFS	6	
CHECKED: FFS	5	
DATE: 04/08/2024	4	
SCALE: 1"=10'-0"	3	
SPECIFIED ON SHEET	2	
REVISIONS	1	
OCFA REVIEW AND INSPECTIONS (OCFA USE ONLY)		
<input type="checkbox"/> NO OCFA REVIEW REQUIRED		
<input type="checkbox"/> PLAN REVIEW ONLY		
<input type="checkbox"/> PLAN REVIEW AND INSPECTION		

PLANS PREPARED BY: firesafe PLANNING SOLUTIONS  
28506 AROSO STREET  
RANCHO MISSION VIEJO, CA 92684  
(949) 246-9911

LAMPSON PARK PLACE  
CITY OF LOS ALAMITOS  
VTTM 19263

ORANGE COUNTY FIRE AUTHORITY  
COMMUNITY RISK REDUCTION - PLANNING AND DEVELOPMENT SECTION  
REVISED 02/2020 JAH

SERVICE REQUEST NUMBER: 538311

SHEET: F-1

OF 5

### PREMISES IDENTIFICATION & ADDRESSING

PREMISES IDENTIFICATION CBC 501.2, CFC 505.1  
 THREE POSSIBLE CONFIGURATIONS OF BUILDINGS OR UNITS WITHIN A BUILDING MAY EXIST AND ARE IDENTIFIED AS FOLLOWS: FREESTANDING BUILDINGS, MULTI-UNIT BUILDINGS, OR MULTI-BUILDING CLUSTERS. COMMON TO ALL CONFIGURATIONS ARE THE REQUIREMENTS LISTED IN SECTIONS A THROUGH E BELOW. PROJECTS MAY ALSO BE SUBJECT TO SPECIFIC ADDRESS AND WAYFINDING SIGNAGE REQUIREMENTS CONTAINED IN THE LOCAL JURISDICTION'S MUNICIPAL ORDINANCE OR SECURITY CODE, WHICH MAY BE MORE RESTRICTIVE THAN THE REQUIREMENTS LISTED IN THIS GUIDELINE. FOR PROJECTS LOCATED IN THE CITY OF IRVINE, PLEASE SEE IRVINE UNIFORM SECURITY CODE, SECTIONS 5-9-516.B & C AND SECTION 5-9-517L. FOR PROJECTS LOCATED IN SRA LAND, PLEASE SEE SFR ARTICLE 3 IN GUIDELINE B-09A FOR ADDITIONAL ADDRESSING REQUIREMENTS.

A. APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON THE FRONT ELEVATION OF ALL NEW OR EXISTING BUILDINGS IN SUCH A POSITION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD ON WHICH THE PROPERTY IS ADDRESSED. ADDRESSES SHALL NOT BE LOCATED WHERE THEY HAVE THE POTENTIAL OF BEING OBSTRUCTED BY SIGNS, AWNINGS, VEGETATION, OR OTHER BUILDING/SITE ELEMENTS. AN ADDRESS MONUMENT AT THE VEHICLE ENTRANCE OR OTHER LOCATION CLEARLY VISIBLE AND LEGIBLE FROM THE PUBLIC ROAD MAY BE PROVIDED IN LIEU OF AN ADDRESS ON THE STRUCTURE WHERE ONLY A SINGLE BUILDING WITH A SINGLE STREET ADDRESS IS PRESENT AND NO OTHER STRUCTURES ARE ACCESSIBLE FROM THE FIRE LANE SERVING THAT STRUCTURE.

B. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.

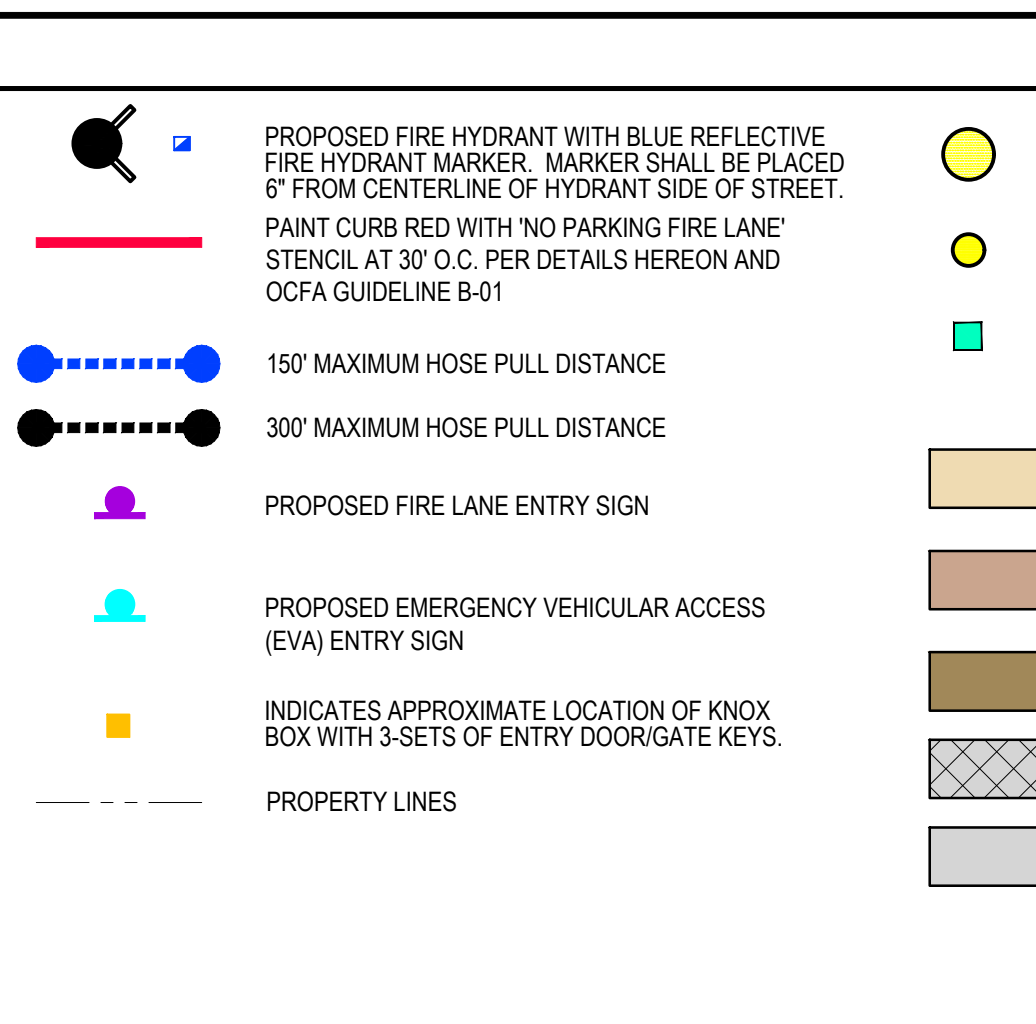
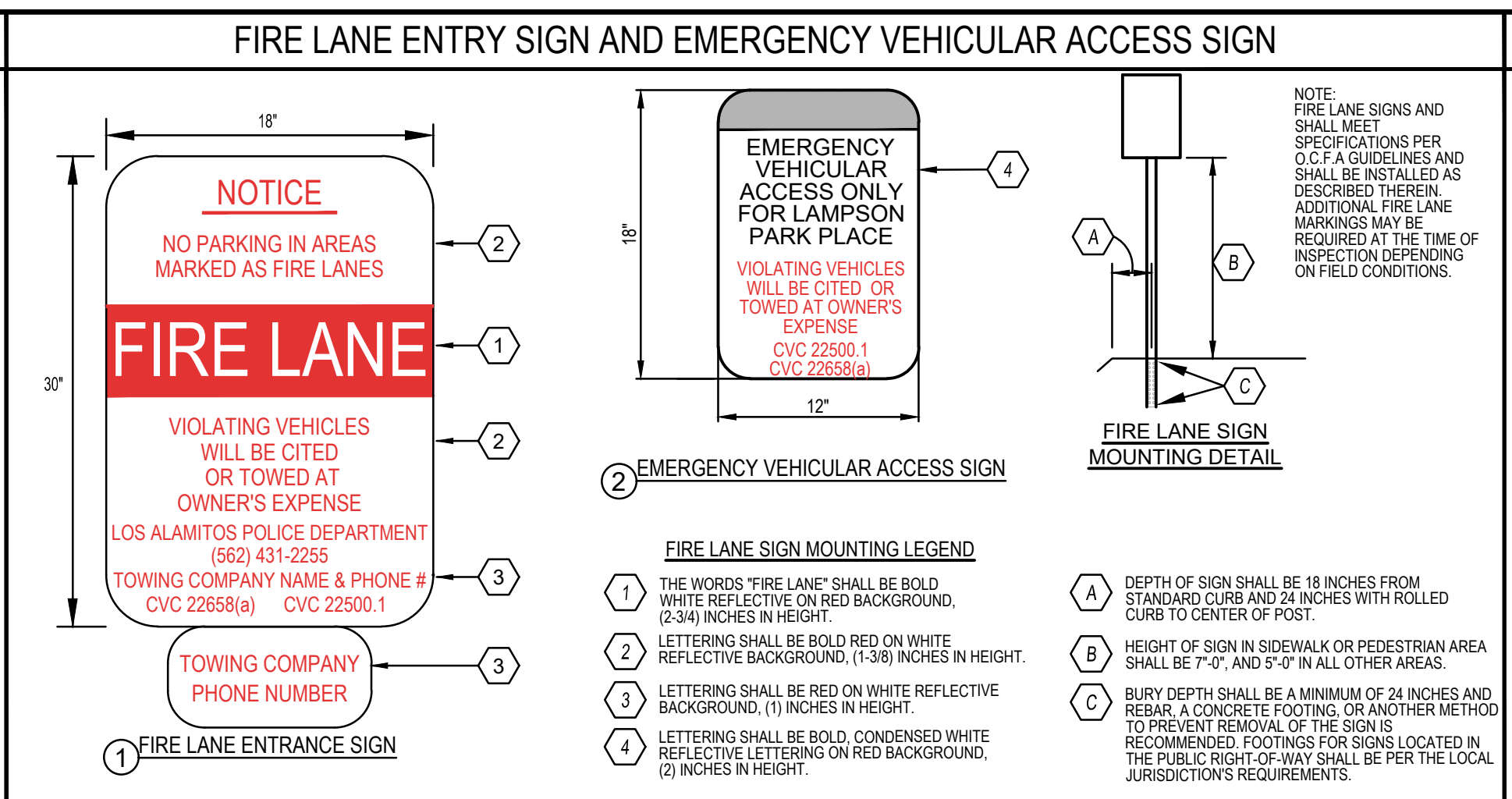
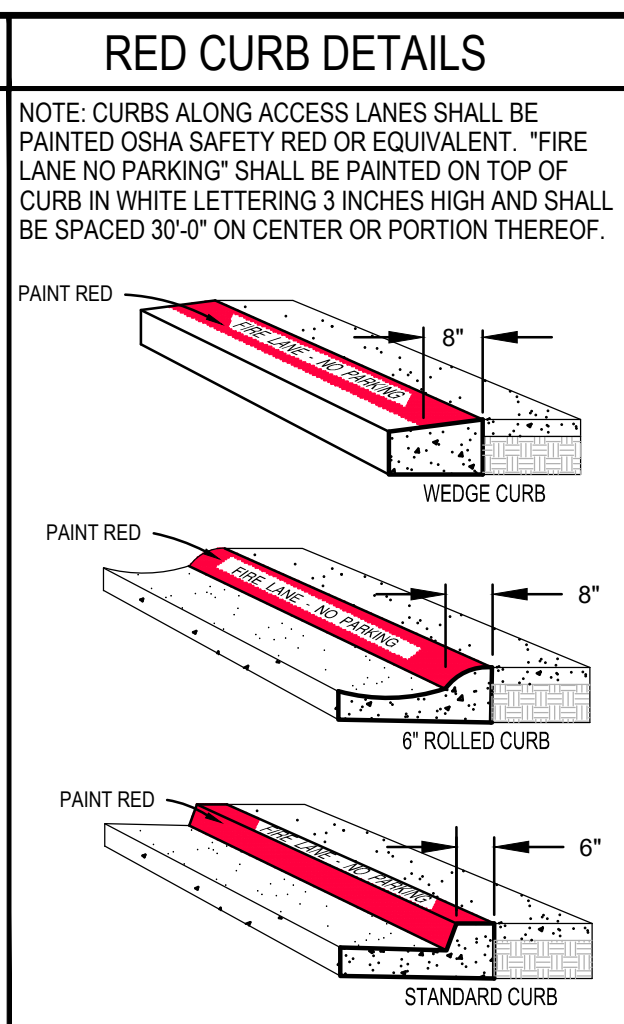
C. THE NUMBERS SHALL BE A MINIMUM OF 4 INCHES OR MORE IN HEIGHT FOR SINGLE-FAMILY RESIDENTIAL STRUCTURES/DUPLEXES, OR INDIVIDUAL UNIT NUMBERS IN MULTI-FAMILY RESIDENTIAL STRUCTURES AND 6 INCHES OR MORE FOR COMMERCIAL STRUCTURES OR THE PRIMARY BUILDING ADDRESS OR ADDRESS RANGE POSTED ON MULTI-FAMILY RESIDENTIAL STRUCTURES. THE 6-INCH NUMBERS SHALL HAVE A ONE-INCH STROKE AND THE 4-INCH NUMBERS SHALL HAVE A 1/2-INCH STROKE, OR AS REQUIRED BY LOCAL ORDINANCE, WHICHEVER IS MORE RESTRICTIVE. BUILDING SETBACKS, ELEVATION, AND LANDSCAPING CAN AFFECT THESE MINIMUM SIZE REQUIREMENTS.

D. ADDRESS NUMBERS MAY BE REQUIRED TO BE INTERNALLY OR EXTERNALLY ILLUMINATED BY THE LOCAL JURISDICTION'S SECURITY CODE. WHILE NOT REQUIRED BY THE OCFA, ILLUMINATION OF ADDRESSES IS RECOMMENDED TO FACILITATE RAPID LOCATION OF A SITE OR BUILDING.

E. WHERE IT IS UNCLEAR AS TO WHICH STREET A BUILDING IS ADDRESSED TO (E.G., A BUILDING IS ACCESSED ONLY FROM A STREET OTHER THAN THE ONE IT IS ADDRESSED TO, MULTIPLE MAIN ENTRANCES TO THE SITE, OR BUILDING ITSELF, FRONT DIFFERENT STREETS), THE NAME OF THE STREET SHALL ALSO BE IDENTIFIED AS PART OF THE POSTED ADDRESS.

F. MULTI-UNIT BUILDINGS - SUITE/APARTMENT NUMBERS SHALL BE PLACED ON OR ADJACENT TO THE PRIMARY ENTRANCE FOR EACH SUITE/APARTMENT AND ANY OTHER DOOR PROVIDING ACCESS TO FIRE DEPARTMENT PERSONNEL DURING AN EMERGENCY. MULTIPLE RESIDENTIAL AND COMMERCIAL UNITS HAVING ENTRANCE DOORS NOT VISIBLE FROM THE STREET OR ROAD SHALL, IN ADDITION, HAVE APPROVED NUMBERS GROUPED FOR ALL UNITS WITHIN EACH STRUCTURE AND POSITIONED TO BE PLAINLY VISIBLE FROM THE STREET OR ROAD.

G. MULTI-BUILDING CLUSTERS - APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON THE FRONT ELEVATION(S) OF ALL BUILDINGS THAT FORM THE CLUSTER. IF ALL BUILDING ADDRESSES ARE NOT CLEARLY VISIBLE OR LEGIBLE FROM THE PUBLIC ROAD SERVING THE STRUCTURES, AN ADDRESS MONUMENT SHALL ALSO BE PROVIDED AT THE ENTRY POINT(S) TO THE SITE INDICATING THE RANGE OF ADDRESSES ACCESSIBLE FROM THAT ENTRANCE.



- ### CONSTRUCTION NOTES
- INSTALL FIRE LANE ENTRANCE SIGN PER OCFA GUIDELINE B-01 AND DETAIL SHT. F-2.
  - INSTALL 'EMERGENCY VEHICULAR ACCESS ONLY' SIGN AT EVA. SEE DETAIL SHT. F-2.
  - INSTALL SUB-KEYED KNOX BOX WITH 3-SETS OF ENTRY DOOR/GATE KEYS PER OCFA GUIDELINE B-01.
  - INSTALL FIRE HYDRANT MARKER THAT SHALL BE PLACED 6" FROM CENTERLINE ON HYDRANT SIDE OF STREET
  - INSTALL HAMMERHEAD TURNAROUND PER OCFA GUIDELINE B-01.
  - INSTALL RED CURB PER OCFA GUIDELINE B-01 AND DETAILS SHT. F-2.
  - INSTALL WAYFINDER SIGN.
  - INSTALL EVA ENTRY ALL WEATHER DECORATIVE PAVING OR PAVERS THAT SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 94,000 LBS. PER OCFA REQUIREMENTS.
  - PROPOSED ALTERNATIVE DRIVABLE PAVERS OR PAVED SURFACE NOT A PART OF FIRE ACCESS.
  - INSTALL 4" DROP CURB THAT SHALL BE PAINTED RED.

### PARKING ENFORCEMENT LETTER

APRIL 8, 2024  
 PLANNING AND DEVELOPMENT SERVICES SECTION  
 ORANGE COUNTY FIRE AUTHORITY  
 1 FIRE AUTHORITY ROAD  
 IRVINE, CA 92602

RE: PARKING ENFORCEMENT PLAN - OCFA SERVICE REQUEST NUMBER 538311  
 LAMPSON PARK PLACE - TRACT MAP NO. 19263  
 4665 LAMPSON AVENUE  
 LOS ALAMITOS, CA 90720

THE FIRE LANE PARKING ENFORCEMENT PLAN FOR THE ABOVE REFERENCED PROJECT IS STATED AS FOLLOWS:  
 ALL FIRE LANES WITHIN PROJECT SHALL BE MAINTAINED AND IN NO EVENT SHALL PARKING BE PERMITTED ALONG ANY PORTION OF A STREET OR DRIVE THAT REQUIRED FIRE LANES OR ANY AREA DESIGNATED AS A FIRE LANE FOR TURN-AROUND OR DRIVE THROUGH PURPOSES.

PROJECT HOMEOWNER'S ASSOCIATION SHALL ADOPT REASONABLE RULES AND REGULATIONS REGARDING THE PARKING OF VEHICLES ALONG THE STREETS, ROADS AND OR DRIVES WITHIN THE PROJECT THAT ARE NOT IN CONFLICT WITH APPLICABLE LAW.

IN FURTHERANCE THEREOF, PROJECT HOMEOWNER'S ASSOCIATION, THROUGH ITS OFFICERS, COMMITTEES AND AGENTS WILL ESTABLISH THE "PARKING" AND "NO PARKING" AREAS WITHIN THE PROPERTY IN ACCORDANCE WITH SECTION 22688.2 OF THE CALIFORNIA VEHICLE CODE AND THE RANCH FIRE PROTECTION PROGRAM. THE LAW SHALL BE ENFORCED THROUGH SUCH RULES AND REGULATIONS BY ALL LAWFUL MEANS, INCLUDING, WRITTEN WARNINGS, CITING, LEVYING FINES AND TOWING VEHICLES IN VIOLATION.

PROJECT HOMEOWNER'S ASSOCIATION WILL CONTRACT WITH A CERTIFIED PATROL AND TOWING COMPANY TO REMOVE VEHICLES THAT VIOLATE NO PARKING RESTRICTIONS. FIRST TIME VIOLATORS WILL RECEIVE A WRITTEN WARNING AND WITH SUBSEQUENT VIOLATIONS, THE VEHICLE SHALL BE SUBJECT TO TOWING. THE VEHICLE OWNER SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED IN REMEDYING SUCH VIOLATION, INCLUDING WITHOUT LIMITATION TOWING COST, CITATIONS AND LEGAL FEES.

### COMBUSTIBLE CONSTRUCTION LETTER

APRIL 8, 2024  
 ORANGE COUNTY FIRE AUTHORITY  
 1 FIRE AUTHORITY ROAD  
 IRVINE, CA 92602-0125

SUBJECT: COMBUSTIBLE CONSTRUCTION LETTER - OCFA SERVICE REQUEST NUMBER 538311 LAMPSON PARK PLACE - TRACT MAP NO. 19263  
 4665 LAMPSON AVENUE  
 LOS ALAMITOS, CA 90720

THE PURPOSE OF THIS LETTER IS TO NOTIFY YOU THAT THIS PROJECT SHALL INSTALL ALL REQUIRED PAVED FIRE ACCESS ROADS THAT MEET O.C.A. GUIDELINES PER THE APPROVED PLANS. ALL FIRE HYDRANTS AND WATER SUPPLY FOR FIRE FIGHTING PURPOSES SHALL BE INSTALLED PER THE APPROVED PLANS AND SHALL MEET ALL FIRE FLOWS REQUIREMENTS, PRIOR TO ANY COMBUSTIBLE CONSTRUCTION MATERIALS BEING DELIVERED FOR CONSTRUCTION.

### BUILDING INFORMATION AND DATA

BUILDING	STORIES	TOP OF HIGHEST ROOF	CONSTRUCTION TYPE	AUTOMATIC FIRE SPRINKLERS	SQUARE FOOTAGE
SINGLE FAMILY	2 & 3	36'-0" *	VB	NFPA 13D	2,815SF
TOWNHOUSE	3	37'-6" *	VB	NFPA 13D	12,091SF
MULTI-FAMILY	3	37'-0" *	V-A	NFPA 13	38,700SF

\* NOTE THAT BUILDING HEIGHT TO EAVE SHALL NOT EXCEED 29'-11" AT DESIGNATED GROUND LADDERING AREAS.

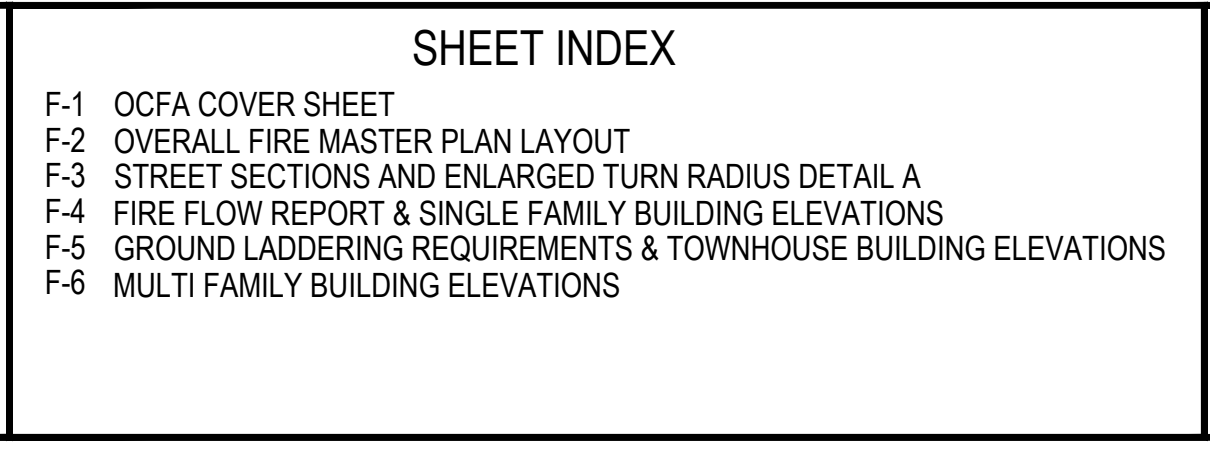
### FIRE FLOW INFORMATION & HYDRANT SPACING REQUIREMENTS PER 2023 OCFA GUIDELINE B-01

SINGLE FAMILY  
 FIRE FLOW OF 500GPM / 1 HOUR FOR THE LARGEST BUILDING OF 2,815 SF WITH TYPE V-B CONSTRUCTION SHALL BE PROVIDED BY THE PROPOSED WATER SYSTEM. HYDRANT SPACING REQUIREMENT IS 500' MAXIMUM BETWEEN HYDRANTS ON A THRU ROAD.

TOWNHOUSE  
 FIRE FLOW OF 1,500GPM / 3 HOURS FOR THE LARGEST BUILDING OF 12,091 SF WITH TYPE V-B CONSTRUCTION SHALL BE PROVIDED BY THE PROPOSED WATER SYSTEM. HYDRANT SPACING REQUIREMENT IS 500' MAXIMUM BETWEEN HYDRANTS ON A THRU ROAD.

MULTI-FAMILY  
 FIRE FLOW OF 1,750GPM / 3 HOURS FOR THE LARGEST BUILDING OF 38,700 SF WITH TYPE V-A CONSTRUCTION SHALL BE PROVIDED BY THE PROPOSED WATER SYSTEM. HYDRANT SPACING REQUIREMENT IS 500' MAXIMUM BETWEEN HYDRANTS ON A THRU ROAD.

- ### SHEET INDEX
- F-1 OCFA COVER SHEET
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  - F-3 STREET SECTIONS AND ENLARGED TURN RADIUS DETAIL A
  - F-4 FIRE FLOW REPORT & SINGLE FAMILY BUILDING ELEVATIONS
  - F-5 GROUND LADDERING REQUIREMENTS & TOWNHOUSE BUILDING ELEVATIONS
  - F-6 MULTI FAMILY BUILDING ELEVATIONS



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 IRVINE, CA 92618  
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 OFFICE: (949) 240-5911

PREPARED FOR:  
**LAMPSON PARK PLACE LLC**  
 DEVELOPED BY: MJW INVESTMENTS LLC  
 1278 GLENN EYRE ST., STE. 439  
 LAGUNA BEACH, CA 92651  
 P: 626.710.6377

TITLE:  
**FIRE MASTER PLAN LAYOUT PLAN LAMPSON PARK PLACE**  
 4665 LAMPSON AVE - LOS ALAMITOS, CA 90720  
 APN: 130-012-35  
 OCFA SR 538311  
 ORANGE COUNTY FIRE AUTHORITY

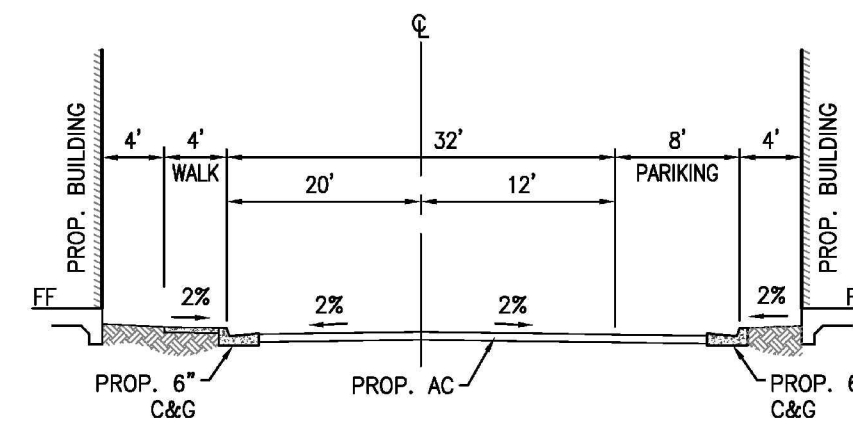
DATE:  
 04/08/2024  
 SHEET:  
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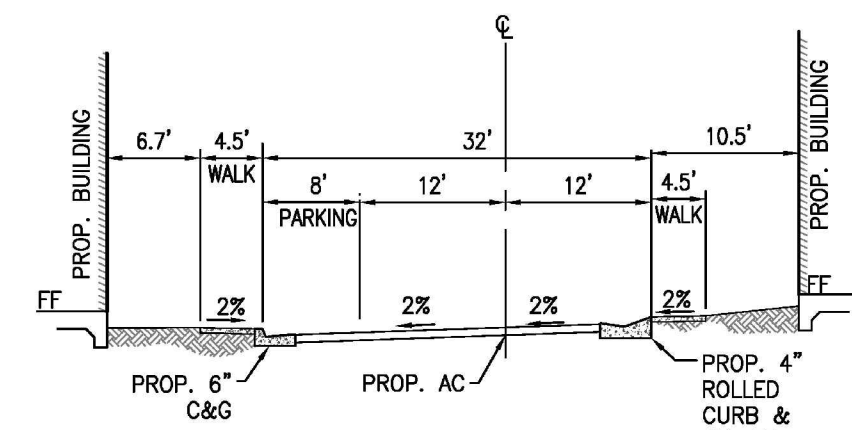
# STREET SECTIONS

NOT TO SCALE

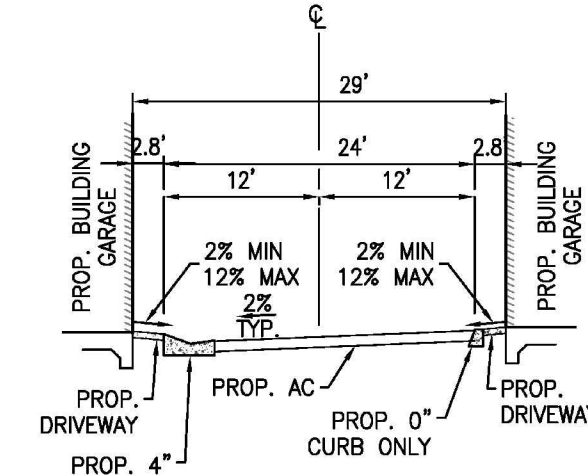
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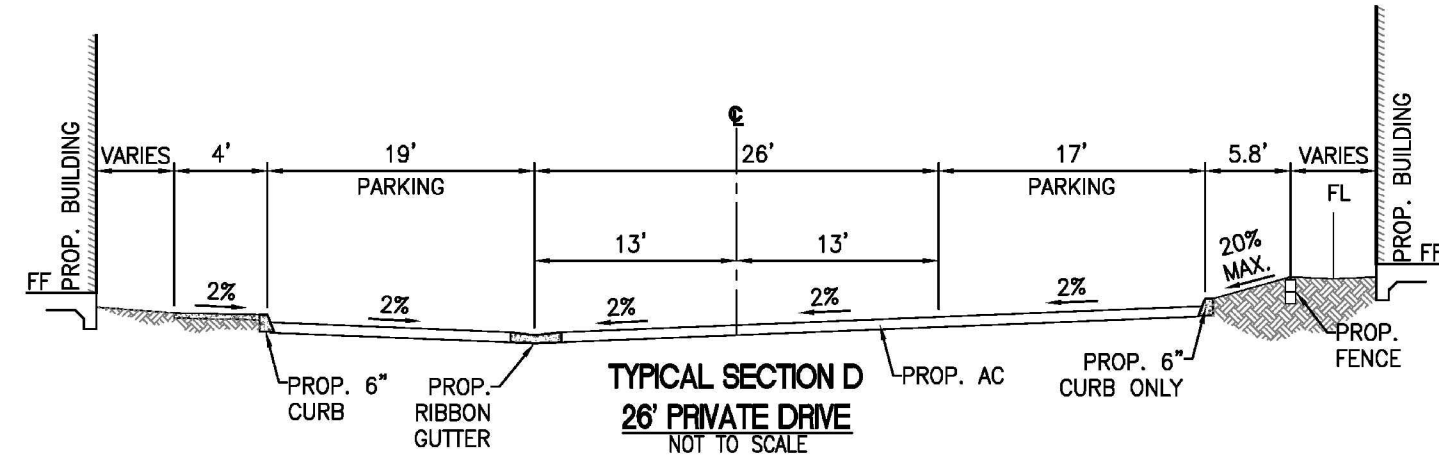
**TYPICAL SECTION A**  
32' PRIVATE DRIVE  
NOT TO SCALE



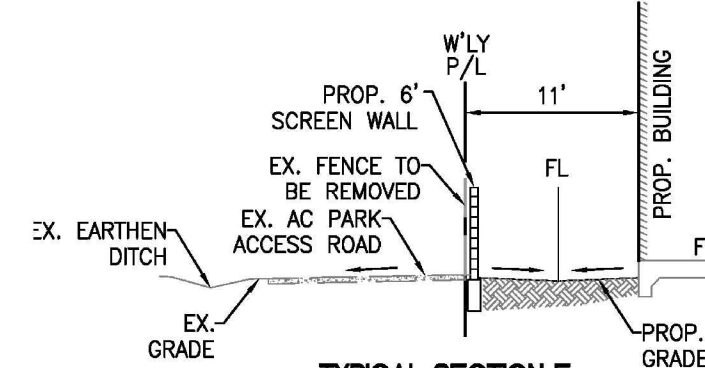
**TYPICAL SECTION B**  
32' PRIVATE DRIVE  
NOT TO SCALE



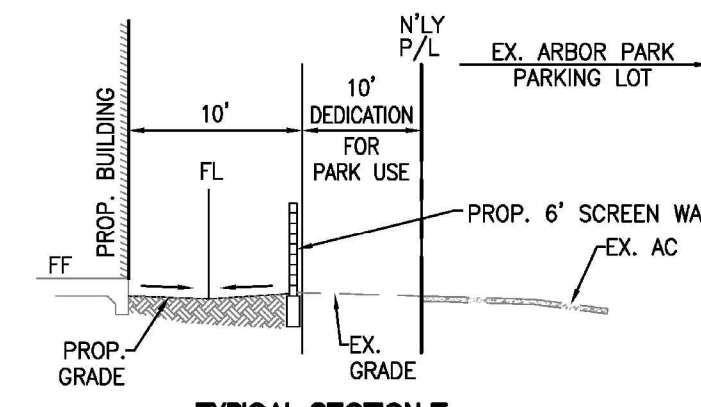
**TYPICAL SECTION C**  
24' PRIVATE DRIVE AISLE  
NOT TO SCALE



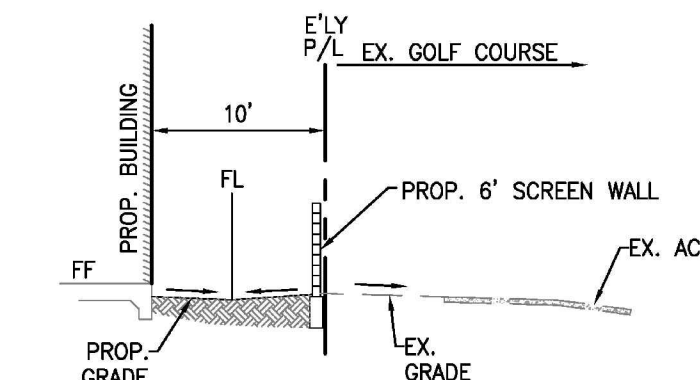
**TYPICAL SECTION D**  
26' PRIVATE DRIVE  
NOT TO SCALE



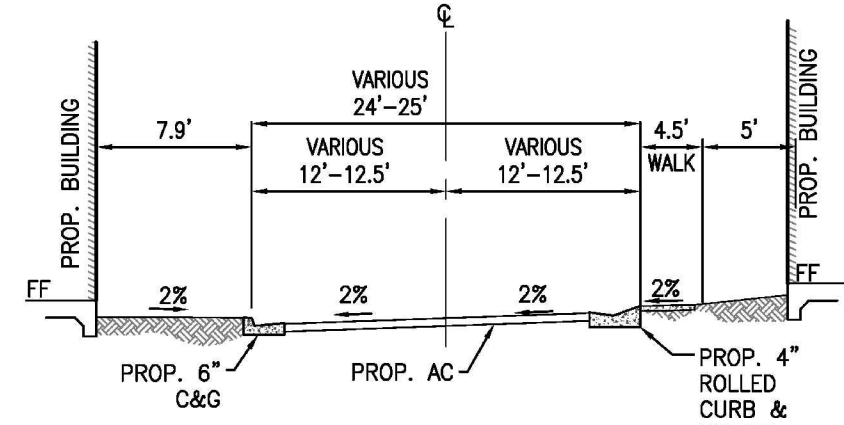
**TYPICAL SECTION E**  
NOT TO SCALE



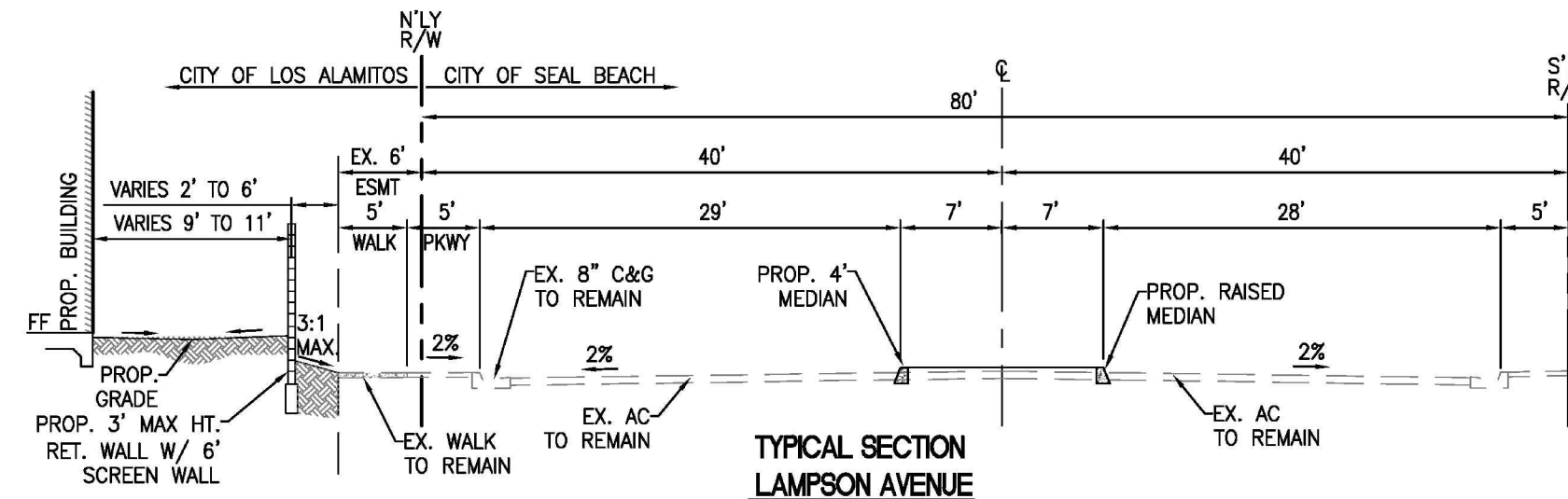
**TYPICAL SECTION F**  
NOT TO SCALE



**TYPICAL SECTION G**  
NOT TO SCALE



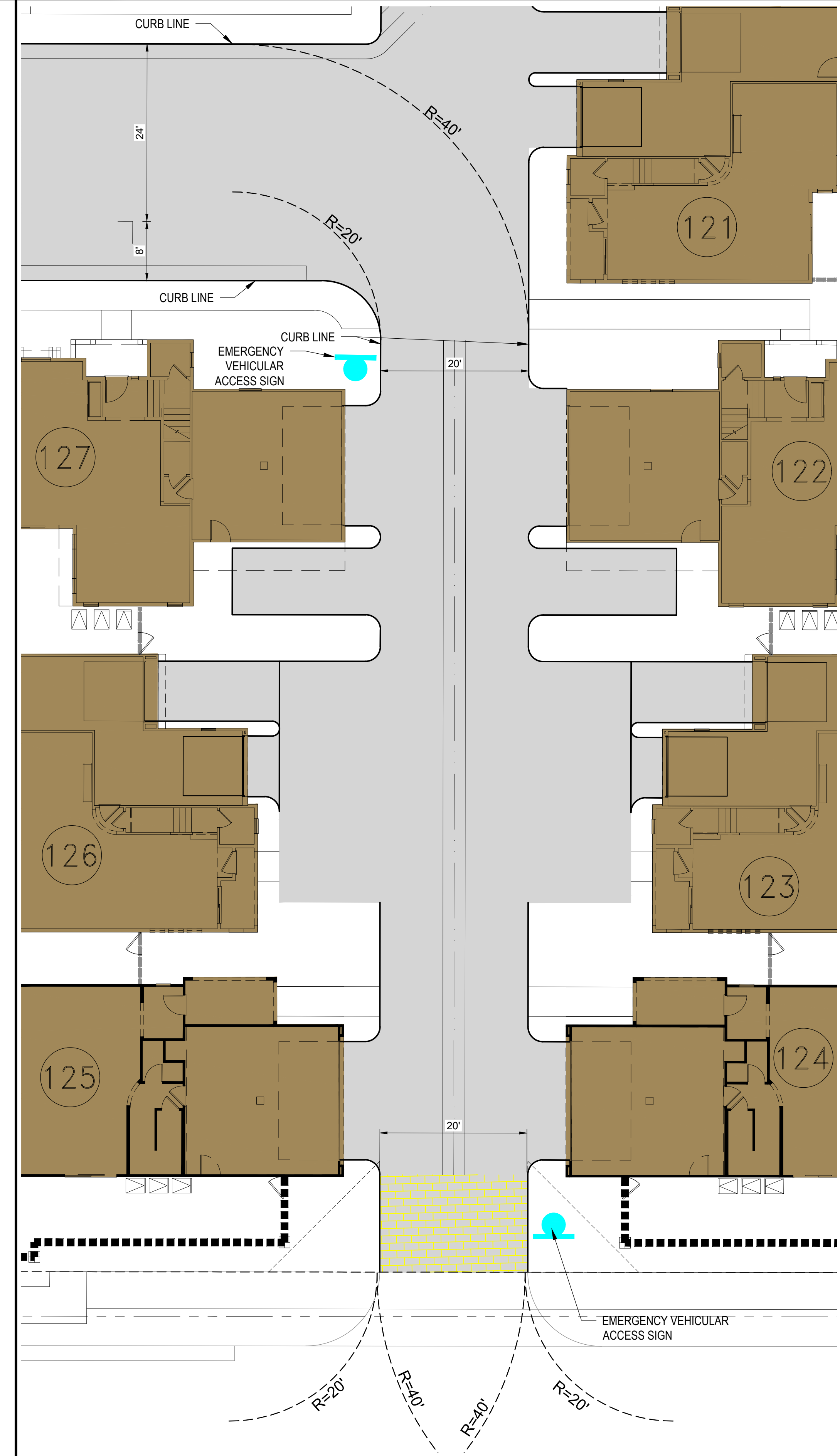
**TYPICAL SECTION H**  
PRIVATE DRIVE  
NOT TO SCALE



**TYPICAL SECTION LAMPSON AVENUE**  
NOT TO SCALE

# TURNING RADIUS ENLARGED VIEW A

SCALE: 1"=5'



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**F-3**

ORANGE COUNTY FIRE AUTHORITY

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# FIRE FLOW REPORT

# 1

# TYPICAL SINGLE FAMILY DWELLING ELEVATIONS

NOT TO SCALE



## OCFA WATER AVAILABILITY FORM

### SECTION A: To be completed by customer

Project Name: Lampson Park Place OCFA SR #: ASSIGNED UPON PLAN SUBMITTAL  
 Project Address: 4665 Lampson Ave City: Los Alamitos  
 Applicant Phone #: (949) 916-3800 Fax #: ( )  
 Area of largest building 38,700 ft<sup>2</sup>; Construction type? (check one):  IA  IB  IIA  IIB  IIIA  IIIB  IVA  V  VI  
 Is this building sprinklered throughout? (check one)  N  Y

### SECTION B: To be completed by local water department/district Customer to provide results to OCFA

Water Department/District: Golden State Water Company  
 Test location (indicate address or cross-streets & provide reference map): \_\_\_\_\_  
 Hydrant number(s) (if applicable): NA  
 Elevation of test hydrant: \_\_\_\_\_ feet above sea level  
 Date of Test<sup>1</sup>: 2/22/24 Time of test<sup>1</sup>: hydraulic model  am  pm  
<sup>1</sup>Test to be performed as close as possible to the time that the lowest flows and pressures are expected (e.g., M-F, 6:00 - 9:00 am and 5:00 - 9:00 pm)

FLOW TEST RESULTS			
TEST INFORMATION IS VALID FOR 6 MONTHS FROM DATE TEST IS PERFORMED			
Static pressure:	95	psi	Residual pressure:
Observed flow:		gpm	Flow calc'd at 20 psi:
			1,937
			gpm

Check the box if the test information above was obtained in a manner other than an actual flow test (i.e. by computer modeling).

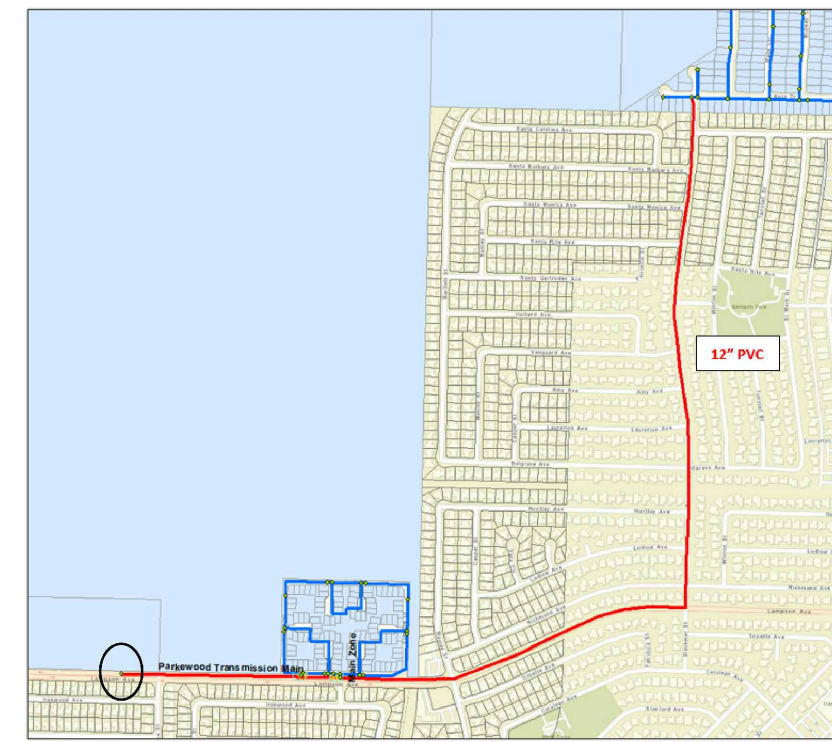
Based on fluctuations known to exist at the site of the test, provide estimated values for the following:

Maximum static pressure	psi	Minimum static pressure	psi
Minimum residual pressure	psi	Minimum residual flow	gpm

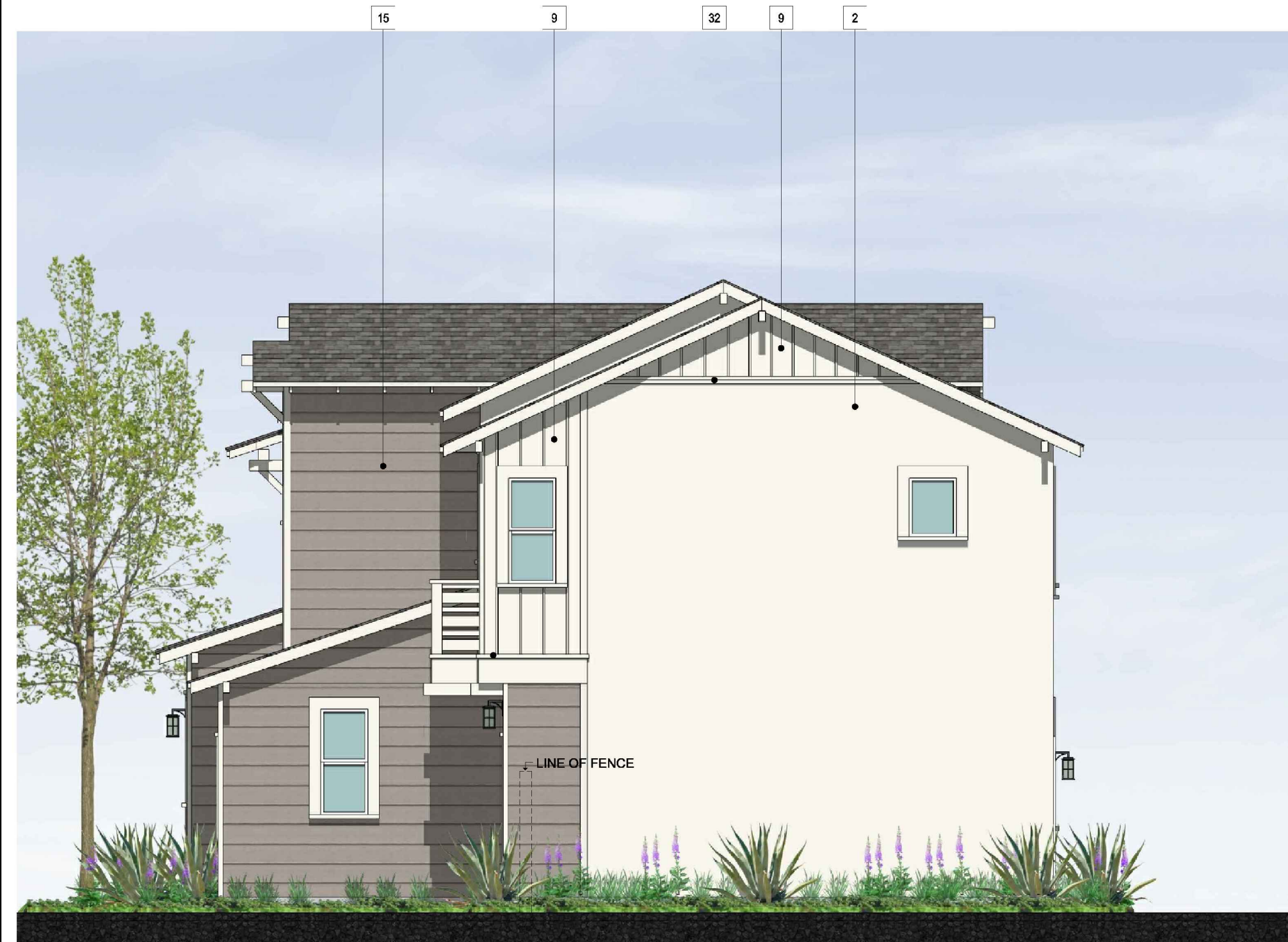
I have witnessed and/or reviewed this water flow information and by personal knowledge and/or on-site observation certify that the above information is correct.

Name: Melynda Holm Company/Agency: Golden State Water Company  
 Signature: \_\_\_\_\_ Title: Operations Engineer  
 Date: 2/23/2024

Revised 1/7/16 eso



NOTE: THESE DETAILS PROVIDED FOR REFERENCE ONLY.



### MATERIAL LEGEND STYLE

1. COMPOSITE SHINGLE ROOF (NO RAKE TILE)
2. STUCCO, FINISH
3. METAL ROOF (STANDING SEAM)
4. ROOF AWNING w/ WOOD OUTLOOKER / BRACE & BEAM
5. FAUX WOOD HORIZONTAL TRIM w/ 2X3 FLAT TRIM CAP
6. FAUX WOOD CORNER TRIM AT SIDING
7. FAUX WOOD / CEMENTITIOUS TRIM / SURROUND
8. FAUX WOOD TRIM SILL.
9. VERTICAL B&B SIDING (12" O.C.)
10. 2X3 EAVE BOARD w/ EXPOSED TRUSS TAILS
11. 2X6 BARGE BOARD
12. 4X6 DECORATIVE GABLE END OUTLOOKER
13. DECORATIVE WOOD CORBEL
14. HORIZONTAL SIDING (4" EXPOSURE)
15. HORIZONTAL SIDING (10" EXPOSURE)
16. WOOD RAILING (WHERE OCCURS)
17. VINYL WINDOWS
18. DECORATIVE FIBERGLASS ENTRY DOOR
19. SLIDING DOOR
20. PORCH / COLUMNS / POST (WHERE OCCURS)
21. METAL SECTIONAL GARAGE DOOR
22. DECORATIVE EXTERIOR LIGHTS/RAISED PIN MOUNTED ADDRESS
23. FRENCH DOOR (WHERE OCCURS)
24. FAUX GABLE END VENT 1X4 BOARDS OVER PANEL BOARD
25. BUILT-UP FAUX POT SHELF
26. CANTILEVER BUILT-UP DECK/BALCONY
27. 2X3 CORNER TRIM AT VERTICAL SIDING
28. 2X4 CORNER TRIM AT HORIZONTAL SIDING
29. CEMENTITIOUS PANEL BOARD
30. GARAGE MAN DOOR
31. PORCH DECK TAPERED COLUMNS AND BUILT-UP TRIM BASE
32. HORIZ. FLAT 2X3 TRIM OVER 2X3 BOARD

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ORANGE COUNTY FIRE AUTHORITY

GROUND LADDERING REQUIREMENTS TO SLEEPING AREAS PER OCFA GUIDELINE B-01

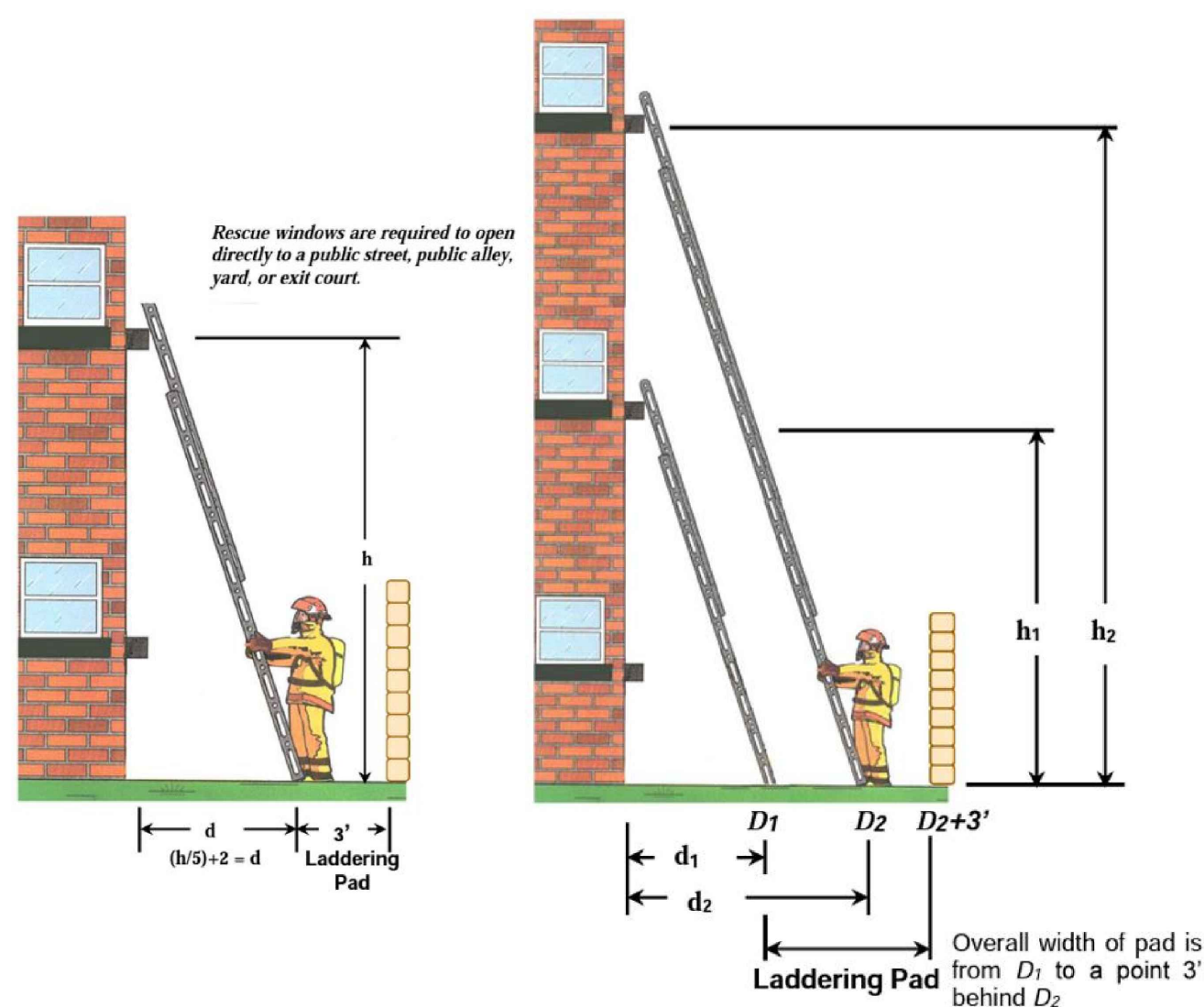
- 6.4. **Rescue Openings** - Group-R occupancies that are required by CBC 1031.1 to have rescue openings shall have a walkable path free of obstructions between the fire lane and each rescue opening.
  - 6.4.1. An approved access walkway must be provided to enable firefighters to easily and safely reach a clear, flat space beneath each rescue opening. Obstructions including but not limited to shrubs, trees, trellises, carports, raised planters, walls, fences, pools, steeply sloped roofs, overhangs, vegetation, and similar building and site elements shall not impede the use of or access to the walkway or rescue opening.
  - 6.4.2. Walkways may consist of hardscape, decomposed granite, grass, or other similar walkable material that does not inhibit access to or use of the area.
  - 6.4.3. Trees that encroach on walkways shall provide a minimum 7-foot clearance underneath to allow unhindered passage by firefighters, however, trees and shrubs shall not encroach on areas outside the rescue opening.
- 6.5. **Laddering Pad and Setback at Rescue Openings of Group R-1, R-2, and R-2.1 Occupancies** - A clear, flat space for laddering rescue openings shall be provided beneath each rescue opening. The distance between the nearest edge of this laddering pad and the structure is based on standardized operational procedures and safe practice to achieve a proper laddering angle (next page, Figure 17). The plan provided must demonstrate that the vegetation (at fully-grown sizes), buildings, and site features will not obstruct the access walkways or laddering operations. It is incumbent upon the developer, architect, landscape architect, and facility maintenance personnel to collaborate on a design and plant palette that complies with these requirements through the *life of the building*.

6.5.1. Proper laddering angle calculation:  $d = (h/5) + 2$   
 Where **h** = The height of the window sill or balcony railing  
**d** = The distance in feet from the edge of the pad nearest the building to a point on the ground directly beneath the rescue window sill or balcony edge.

6.5.2. Dimensions for placement of ladders:

Sill Height (h)		Distance (d)		Sill Height (h)		Distance (d)		Sill Height (h)		Distance (d)	
35"	9'-0"	25"	7'-0"	15"	5'-0"	34"	8'-10"	24"	6'-10"	14"	4' to 5"
34"	8'-10"	23"	6'-7"	13"	4' to 5"	33"	8'-7"	22"	6'-5"	12"	3' to 5"
32"	8'-5"	21"	6'-2"	11"	3' to 4"	32"	8'-5"	20"	6'-0"	10"	2' to 4"
31"	8'-2"	19"	5'-10"	9"	2' to 4"	30"	8'-0"	18"	5'-7"	8"	2' to 3"
30"	8'-0"	17"	5'-5"	7"	1' to 3"	29"	7'-10"	16"	5'-2"	6"	1' to 3"
29"	7'-10"	16"	5'-2"	<7"	1' to 2"	28"	7'-7"	15"	5'-0"	5"	1' to 2"
27"	7'-5"					27"	7'-5"				
26"	7'-2"					26"	7'-2"				

Figure 17 - Ladder Pad Setback at Rescue Openings

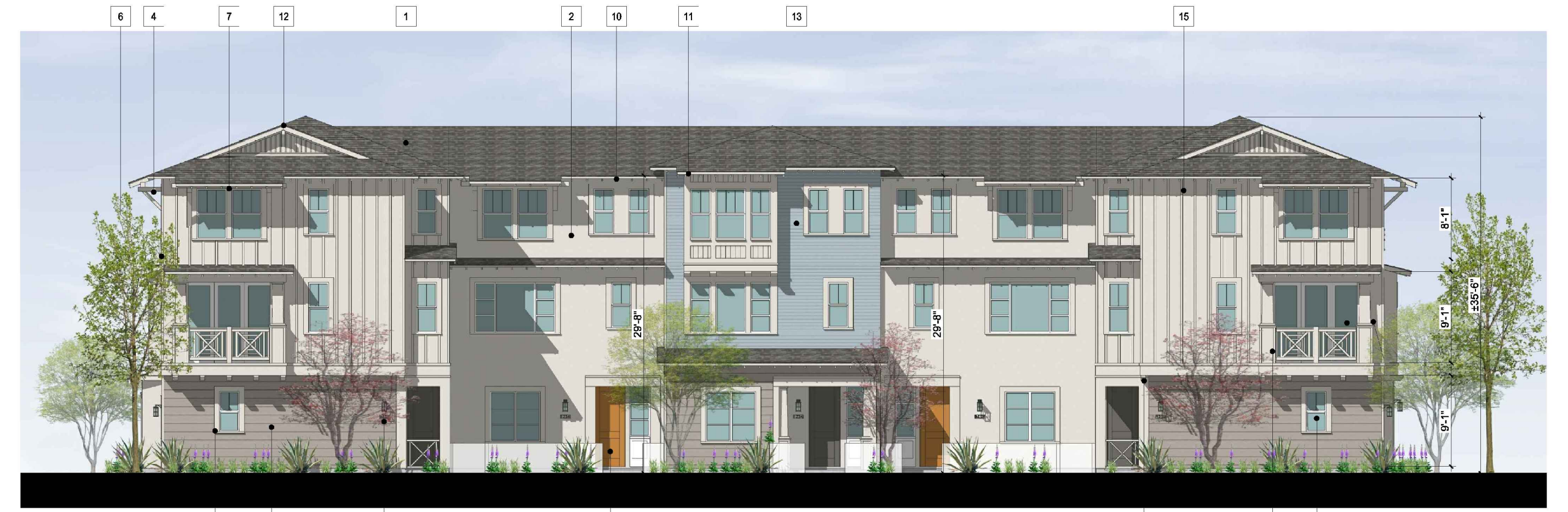


MATERIAL LEGEND

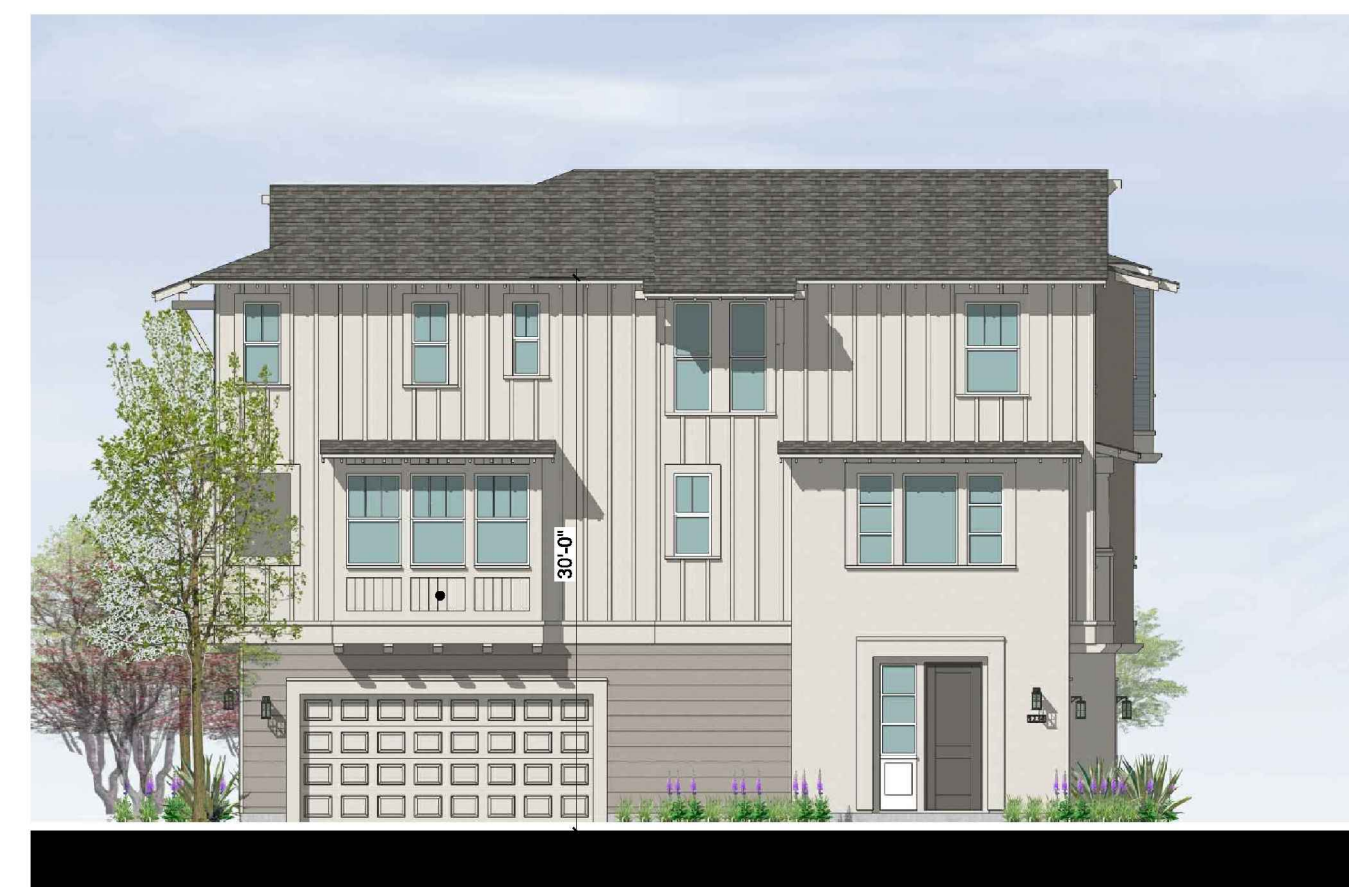
- 1. COMPOSITE SHINGLE ROOF (NO RAKE TILE)
- 2. STUCCO, LIGHT SAND FINISH (20/30)
- 3. STANDING SEAM METAL (WHERE OCCURS)
- 4. ROOF AWNING w/ WOOD OUTLOOKER / BRACE & BEAM (B)
- 5. FAUX WOOD HORIZONTAL TRIM w/ FLAT TRIM
- 6. FAUX WOOD CORNER TRIM AT SIDING
- 7. FAUX WOOD / CEMENTITIOUS TRIM / SURROUND
- 8. FAUX WOOD TRIM SILL
- 9. DECORATIVE FAUX VENT (6" SPACED 1X4 BOARD) (B)
- 10. 2X3 EAVE BOARD w/ EXPOSED TRUSS TAILS
- 11. 2X4/ 2X6 BARGE BOARD
- 12. 4X6 DECORATIVE GABLE END OUTLOOKER
- 13. HORIZONTAL SIDING (4" EXPOSURE) (WHERE OCCURS)
- 14. HORIZONTAL SIDING (10" EXPOSURE) (WHERE OCCURS)
- 15. VERTICAL BOARD & BATT SIDING (16" O.C.)
- 16. WOOD RAILING
- 17. VINYL WINDOWS
- 18. SLIDING GLASS DOOR
- 19. DECORATIVE FIBERGLASS ENTRY DOOR
- 20. DECORATIVE WOOD CORBELS
- 21. METAL UTILITY DOOR
- 22. PORCH/DECK COLUMNS (WHERE OCCURS)
- 23. METAL SECTIONAL GARAGE DOOR
- 24. DECORATIVE EXTERIOR LIGHTS/RAISED NUMBER ADDRESS



LEFT



FRONT



RIGHT



REAR

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1. FRONT ELEVATION



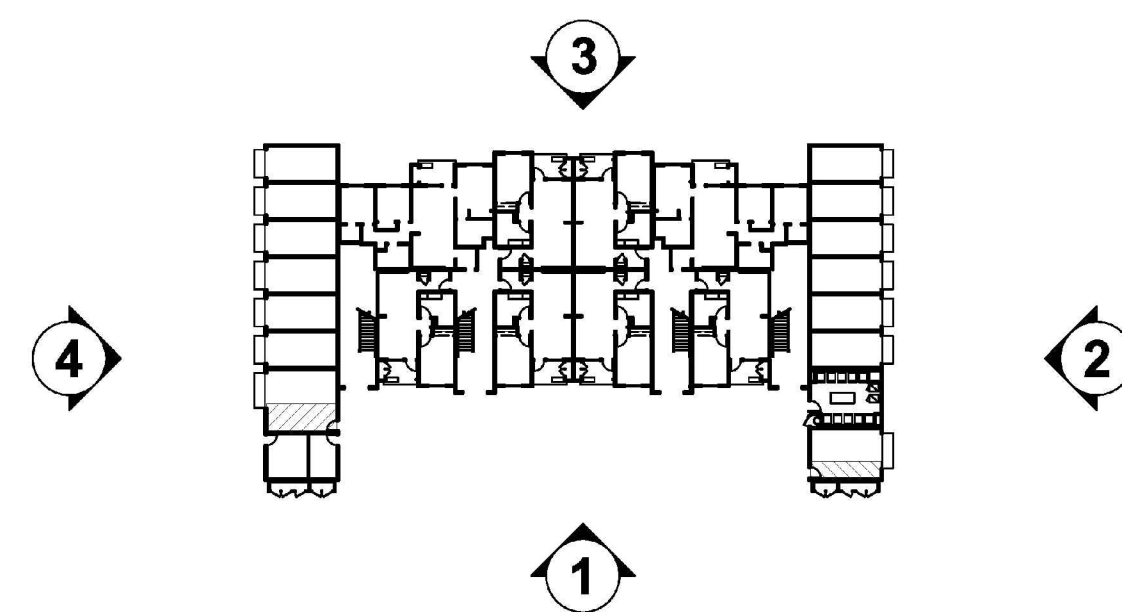
4. LEFT ELEVATION



3. REAR ELEVATION



2. RIGHT ELEVATION



Building Key Plan N.T.S.

**Material Legend**

- 1. STUCCO
- 2. HORIZONTAL SIDING (4" EXPOSURE)
- 3. VERTICAL SIDING
- 4. COMPOSITE SHINGLE ROOF
- 5. 4X6 DECORATIVE GABLE END OUTLOOKER
- 6. 2X3 EAVE BOARD W/ EXPOSED TRUSS TAILS
- 7. VINYL WINDOWS
- 8. METAL RAILING W/ BULLSEYE DETAIL AND HORIZONTAL SIDING
- 9. DECORATIVE EXTERIOR LIGHTS/ADDRESS
- 10. METAL SECTIONAL GARAGE DOOR
- 11. STONE VENEER

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